


ROSEVILLE
REQUEST FOR COUNCIL ACTION

DATE: 5/14/2012
ITEM NO:

Department Approval



City Manager Approval

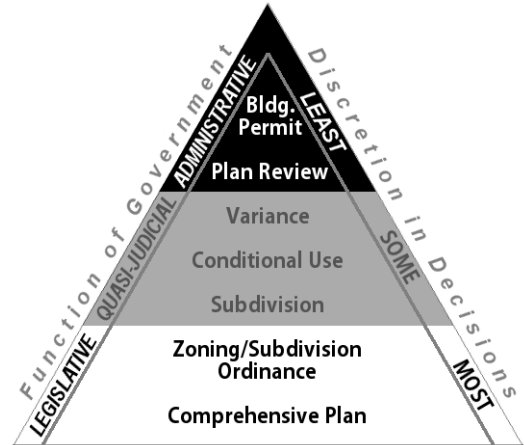


Item Description: Consider the MINOR SUBDIVISION creating 1 additional residential parcel at 1937 Gluek Lane (PF12-004)

Application Review Details

- RCA prepared: May 4, 2012
- Public hearing & City Council action: May 14, 2012
- Sixty-day action deadline: June 4, 2012

Action taken on a minor subdivision request is **quasi-judicial**; the City's role is to determine the facts associated with the request, and weigh those facts against the legal standards contained in State Statute and City Code.



- 1 **1.0 REQUESTED ACTION**
- 2 The applicant requests approval of the proposed MINOR SUBDIVISION creating one
- 3 additional residential parcel out of a single existing parcel.
- 4 **2.0 SUMMARY OF RECOMMENDATION**
- 5 The Planning Division recommends approval of the proposed MINOR SUBDIVISION; see
- 6 Section 7 of this report for the detailed recommendation.
- 7 **3.0 SUGGESTED ACTION**
- 8 By motion, approve the proposed MINOR SUBDIVISION creating a total of two conforming
- 9 parcels, pursuant to §1104.04 (Minor Subdivisions) of the City Code; see Section 8 of
- 10 this report for the detailed action.

11 **4.0 BACKGROUND**

12 4.1 The property located in Planning District 13, has a Comprehensive Plan designation of
13 Low-Density Residential (LR) and a zoning classification of Low-Density Residential
14 District 1 (LDR-1).

15 4.2 A MINOR SUBDIVISION application has been submitted in lieu of the preliminary plat/final
16 plat process because §1104.04E (Minor Subdivision) of the City Code establishes the
17 three-parcel minor subdivision process to simplify those subdivisions “which create a
18 total of three or fewer parcels, situated in accordance with City codes, and no further
19 utility or street extensions are necessary, and the new parcels meet or exceed the size
20 requirements of the zoning code.” The current application meets all of these criteria.

21 **5.0 REVIEW OF PROPOSED MINOR SUBDIVISION**

22 5.1 City Code §1103.06F (Lot Standards) requires that the lines forming the sides of new
23 parcels to be perpendicular or radial to the front street right-of-way. The North Gluek
24 Lane right-of-way is neither straight nor regularly curved, however, and most other side
25 lot lines in the area are several degrees off of perpendicular or radial to the front street
26 right-of-way. The proposed southern boundary of the new Parcel B (shown in the survey
27 included with this staff report as Attachment C) is parallel with the southernmost parcel
28 boundary. While the alignment of the new parcel boundary would be within the same
29 angular range of nearby lot lines, it would not be exactly radial with the front street right-
30 of-way; if that particular code requirement is intended to facilitate regular, predictably-
31 shaped parcels, Planning Division staff believes that the proposal conforms to this intent
32 by creating a mostly-rectangular Parcel A without creating an over complex Parcel B.

33 5.2 City Code §1004.08 (LDR-1 District Standards) requires corner single-family parcels to
34 be at least 100 feet wide and 100 feet deep, and to comprise at least 12,500 square feet in
35 total area. The proposed corner parcel (i.e., Parcel A) would measure 159 feet in width
36 and an average of about 129 feet in depth, and it would have 20,470 square feet of area.
37 The existing improvements would remain on this parcel, and the house would stand about
38 50 feet from the proposed shared parcel boundary. To avoid creating a nonconforming
39 shed setback as a result of approving the MINOR SUBDIVISION, Planning Division staff
40 recommends removing or relocating the shed to stay at least 5 feet south of the new
41 parcel boundary, or shifting the proposed new parcel boundary another few feet farther
42 north.

43 5.3 City Code §1004.08 (LDR-1 District Standards) requires interior (i.e., non-corner) single-
44 family parcels to be at least 85 feet wide and 110 feet deep, and to comprise at least
45 11,000 square feet in total area. The proposed northern parcel (i.e., Parcel B) would
46 measure about 100 feet in width at its narrowest and an average about 142 feet in depth,
47 and it would have about 16,442 square feet of area.

48 5.4 In reviewing the application, Roseville’s Development Review Committee (DRC) has
49 confirmed that adequate sewer and water utilities are present in the North Gluek Lane
50 right-of-way to serve the proposed parcel. The DRC also noted that a broader 50-foot
51 easement buffering the pond will be needed in addition to the standard 5-foot and 10-foot

52 wide drainage easements required along the sides and rear of the new parcels,
53 respectively.

54 5.5 Because the proposed parcel is less than 1 acre in area, it is not subject to the park
55 dedication requirement established in §1103.07 (Park Dedication) of the City Code.

56 5.6 According to the procedure established in §1104.04E, if a MINOR SUBDIVISION application
57 is approved, the survey of the approved parcels, the new legal descriptions, and any
58 necessary Quit Claim or Warranty deeds must be submitted within 30 days for
59 administrative review to verify consistency with the City Council’s approval; then the
60 approved survey must be recorded by the applicant with the Ramsey County Recorder.

61 5.7 A tree preservation plan will also be required as part of the application for a building
62 permit for a home on the new Parcel A, pursuant to §1011.04 (Tree Preservation and
63 Restoration) of the City Code. The trees on proposed Parcel B are already shown on the
64 survey and, incidentally, the willow tree identified near the proposed new parcel
65 boundary appears to be the only tree that might be subject to the tree preservation
66 requirements.

67 **6.0 PUBLIC COMMENT**

68 At the time this report was drafted, Planning Division staff had not received any
69 comments or questions about the proposal from the neighboring property owners.

70 **7.0 RECOMMENDATION**

71 7.1 Hold the duly-noticed public hearing for this application to solicit and address any
72 comments and concerns that neighbors or others might have.

73 7.2 Based on the feedback from the public hearing and the comments and findings outlined
74 in Sections 4-6 of this report, Planning Division staff recommends approval of the
75 proposed MINOR SUBDIVISION creating a total of two conforming parcels, consistent with
76 the attached site plan, with the condition that the existing shed on Parcel A shall be
77 removed or relocated, or the proposed share parcel boundary shall be moved farther
78 north, to maintain a minimum distance of 5 feet between the shed and the new parcel
79 boundary.

80 **8.0 SUGGESTED ACTION**

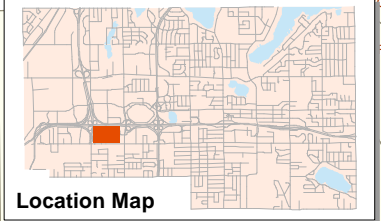
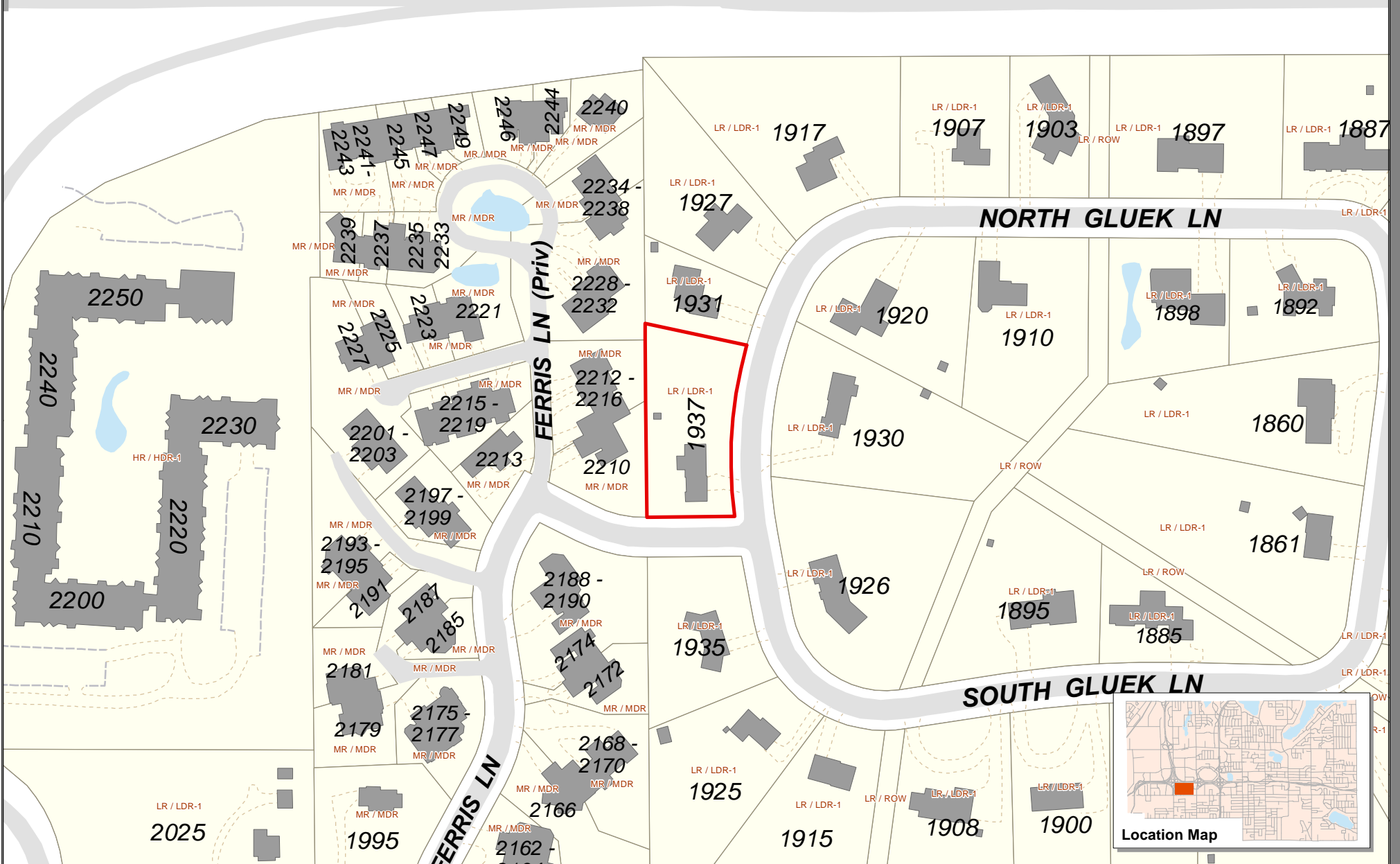
81 8.1 Hold the duly-noticed public hearing for the proposed MINOR SUBDIVISION.

82 8.2 **By motion, approve the proposed MINOR SUBDIVISION at 1937 Gluek Lane** based on
83 the input received during the public hearing and the comments and findings of Sections
84 4-6 and the recommendation of Section 7 of this report.

Prepared by: Associate Planner Bryan Lloyd
651-792-7073 | bryan.lloyd@ci.roseville.mn.us

Attachments: A: Area map C: Site survey
B: Aerial photo

Attachment A for Planning File 12-004



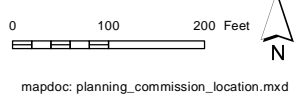
Prepared by:
Community Development Department
Printed: April 18, 2012



Site Location
LR / LDR-1 Comp Plan / Zoning Designations

Data Sources
* Ramsey County GIS Base Map (4/3/2012)
For further information regarding the contents of this map contact:
City of Roseville, Community Development Department,
2660 Civic Center Drive, Roseville MN

Disclaimer
This map is neither a legally recorded map nor a survey and is not intended to be used as one. This map is a compilation of records, information and data located in various city, county, state and federal offices and other sources regarding the area shown, and is to be used for reference purposes only. The City does not warrant that the Geographic Information System (GIS) Data used to prepare this map are error free, and the City does not represent that the GIS Data can be used for navigational, tracking or any other purpose requiring exacting measurement of distance or direction or precision in the depiction of geographic features. If errors or discrepancies are found please contact 651-792-7085. The preceding disclaimer is provided pursuant to Minnesota Statutes §466.03, Subd. 21 (2000), and the user of this map acknowledges that the City shall not be liable for any damages, and expressly waives all claims, and agrees to defend, indemnify, and hold harmless the City from any and all claims brought by User, its employees or agents, or third parties which arise out of the user's access or use of data provided.



Attachment B for Planning File 12-004



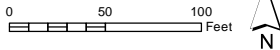
ROSEVILLE
 Prepared by:
 Community Development Department
 Printed: April 20, 2012



Site Location

Data Sources
 * Ramsey County GIS Base Map (4/3/2012)
 * Aerial Data: Pictometry (4/2011)
 For further information regarding the contents of this map contact:
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MINOR SUBDIVISION

FOR: **AUDREY DONNDELINGER**
 ADDRESS: **1937 GLUCK LANE, ROSEVILLE**

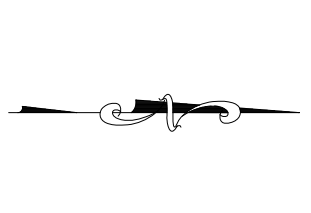
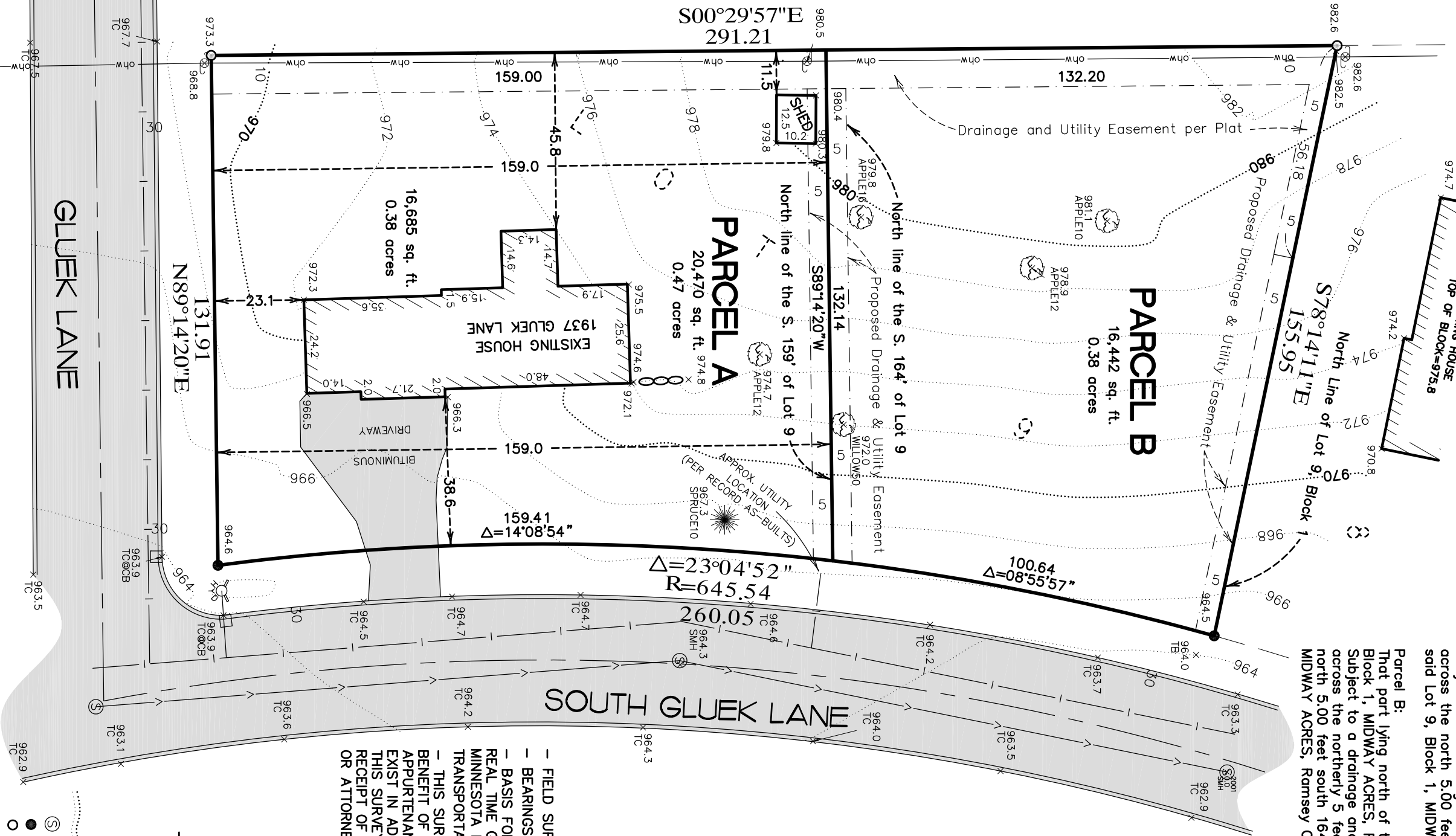
LEGAL DESCRIPTION

Lot 9, Block 1, MIDWAY ACRES, Ramsey County, Minnesota.

PROPOSED LEGAL DESCRIPTIONS

Parcel A:
 The South 159.00 feet of Lot 9, Block 1, MIDWAY ACRES, Ramsey County, Minnesota. Subject to a drainage and utility easement over, under and across the north 5.00 feet of the south 159.00 feet of said Lot 9, Block 1, MIDWAY ACRES.

Parcel B:
 That part lying north of the south 159.00 feet of Lot 9, Block 1, MIDWAY ACRES, Ramsey County, Minnesota. Subject to a drainage and utility easement over, under and across the northerly 5 feet of said Lot 9, Block 1 AND the north 5.00 feet south 164.00 feet of said Lot 9, Block 1, MIDWAY ACRES, Ramsey County, Minnesota.



NOTES

- FIELD SURVEY CONDUCTED ON MARCH 27TH, 2012.
- BEARINGS SHOWN ARE ASSUMED.
- BASIS FOR ELEVATION: NAVD 88 (VIA REAL TIME GPS MEASUREMENTS UTILIZING MINNESOTA DEPARTMENT OF TRANSPORTATION VRS NETWORK)
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF TITLE WORK, EASEMENTS, APPURTENANCES, AND ENCUMBRANCES MAY EXIST IN ADDITION TO THOSE SHOWN HEREON. THIS SURVEY IS SUBJECT TO REVISION UPON RECEIPT OF A TITLE INSURANCE COMMITMENT OR ATTORNEYS TITLE OPINION.

ZONING

- LOW DENSITY RESIDENTIAL

- DENOTES EXISTING CONTOURS
- ⊙ DENOTES SANITARY SEWER MANHOLE
- DENOTES IRON MONUMENT FOUND
- DENOTES IRON MONUMENT SET
- x1011.2 DENOTES EXISTING ELEVATION.
- ohw DENOTES OVERHEAD WIRE
- x DENOTES EXISTING FENCE
- DENOTES UTILITY POLE
- DENOTES RETAINING WALL
- DENOTES WATERMAIN
- DENOTES SANITARY SEWER
- DENOTES BITUMINOUS

I hereby certify that this plan, survey or report was prepared by me or under my direct supervision and that I am a duly licensed Land Surveyor under the laws of the State of Minnesota.

J. P. Schneider
 JOSHUA P. SCHNEIDER

Revised: 4-20-12
 Date: 4-4-12 Reg. No. 44655

JOB#12122MS

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