



COMMUNITY DEVELOPMENT DEPARTMENT  
2660 Civic Center Drive Roseville, MN 55113  
INSPECTION SCHEDULING and GENERAL INFORMATION 651-792-7080  
FAX 651-792-7070

**INFORMATION REQUIRED FOR A ROOM ADDITION**

1. Signed, completed Building Permit application form.
2. **Two copies of a Site Plan** drawn to scale indicating the lot dimensions, the location and ground coverage area of existing structure(s), and the location and area of the proposed structure. Indicate drainage pattern with arrows. Indicate setback dimensions to property lines.
3. **Two copies of plans** showing proposed designs and materials. Plans shall be drawn to scale and shall include the following information.

**A foundation plan indicating:**

- All proposed strip and pad footings, both exterior and interior.
- Footing/foundation dimensions and construction materials.
- Whether crawl space, slab-on-grade, or full basement.
- Size, spacing and direction of floor joists.
- Size & location of access opening from existing structure.

**A floor plan indicating:**

- Proposed layout of new rooms and existing adjacent rooms (label rooms as to use).
- Dimensions of building addition and individual rooms.
- Location and size of window and door openings.
- Size of window and door headers.
- Type & size of any existing support members.
- Skylight size, type & location.

**A cross-section indicating:**

- Footing/foundation, design, insulation values, dimensions and construction materials.
- Exterior wall design, insulation values, dimensions and construction materials.
- Floor and roof design, insulation values, dimensions and construction materials.
- Venting methods at soffit & roof.

**An elevation plan indicating:**

- Front and side views of the proposed addition.
- Approximate height of the addition.
- Location of all doors and windows.
- Size of roof overhangs.
- Roof pitch.

Attached are examples of drawings which are intended as a guide only.

## **LAND USE RESTRICTIONS:**

Minimum required setback distances from the front, side, and rear lot lines may vary according to location. They are set by the Zoning Ordinance. Contact the Community Development Department for this information (when requesting this information, please provide the address of the property). Note: Locating the property corner irons (legal markers) is the responsibility of the property owner. Irons must be visible when the footing inspection is requested. Setbacks are measured from the legal property line to the building wall line.

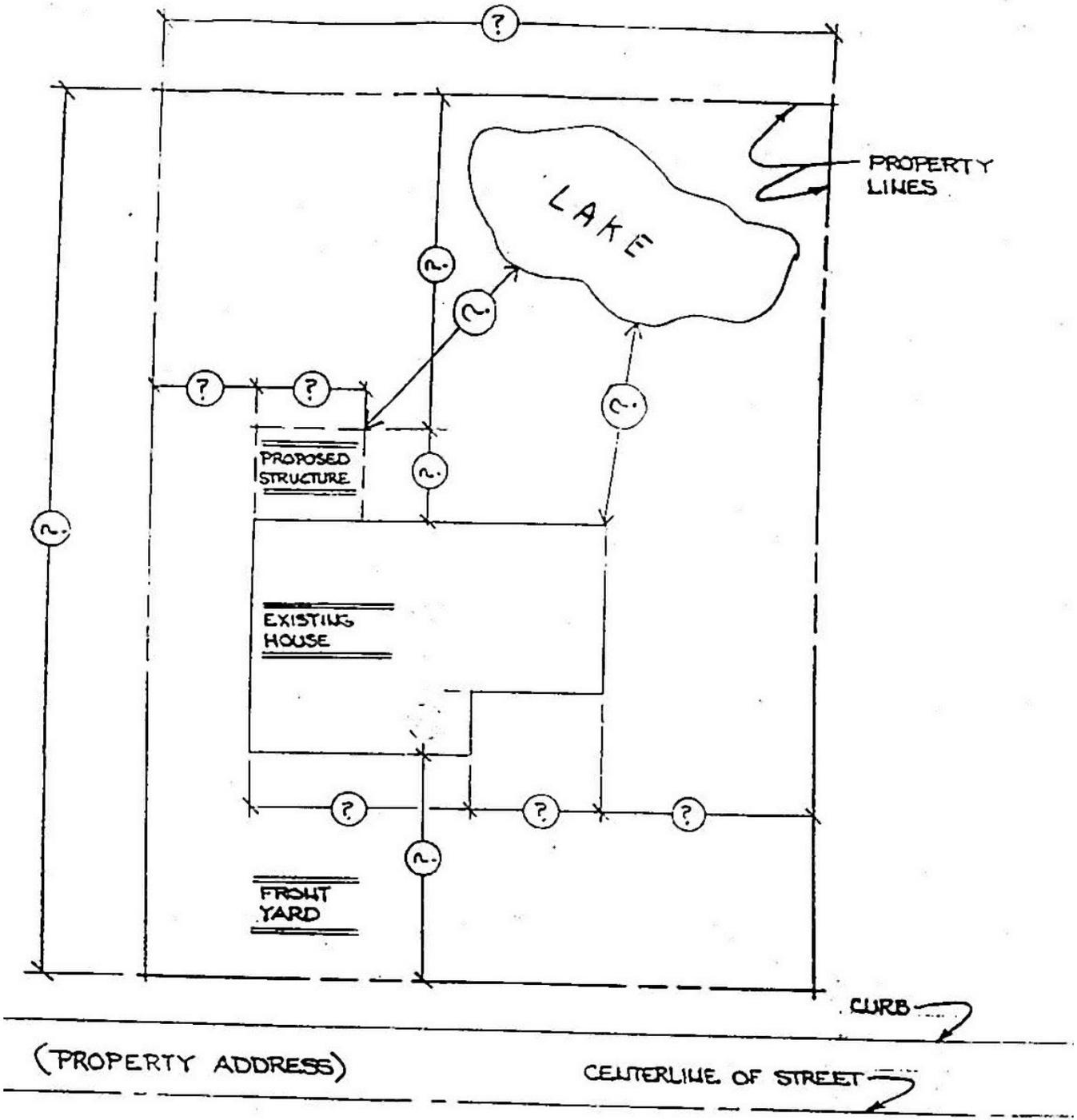
## **CODE REQUIREMENTS:**

1. Footings: To be made after the trenches have been excavated, all forms and reinforcing steel (if required) have been erected, and erosion control devices installed, but *PRIOR TO THE PLACEMENT OF CONCRETE.*
2. Framing: To be made after the roof, framing, fire blocking and bracing are in place, all pipes, chimneys and vents are complete; and, the rough electrical, plumbing and heating inspections are approved.
3. Insulation: To be made after all plumbing, mechanical and electrical systems have been completed and approved and the addition is ready for wallboard.
4. Final: To be made after all plumbing, mechanical and electrical systems have been inspected and approved and the addition is ready for occupancy.

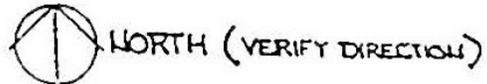
## **GENERAL NOTES:**

1. Plan review and Building Permit issuance normally require five (5) working days from receipt of the complete application. You will be contacted when the permit is ready.
2. The stamped, approved Building plan and Survey must be kept on the job site until the final inspection has been made.
3. The Inspection Record Card shall be placed on an outside exterior wall of the addition and shall remain posted until the final inspection has been made. Cards should be protected from the weather.
4. Separate permits are required when installing Electrical wiring, Plumbing or Mechanical systems. Please contact the Community Development Department at 651-792-7080 for information regarding Electrical, Plumbing and Mechanical permits.
5. Any disturbed ground is required to have erosion control protection installed in order to prevent site erosion or siltation from occurring into City streets, wetland areas, ponds or lakes.
6. The addition or alteration of any dwelling requires that the dwelling be updated to the current smoke and carbon monoxide alarm requirements of the Minnesota State Building Code 1309.0314, 0315 (I.R.C. 314 & 315). The requirements are as follows:
  - A smoke alarm in each sleeping room.
  - A smoke alarm outside of each sleeping area in the immediate vicinity of the bedrooms.
  - A smoke alarm on each level of the home not already covered by the previous required locations.
  - A carbon monoxide alarm shall be installed outside and not more than ten (10) feet from each separate sleeping area or bedroom.
  - Battery operated smoke and carbon monoxide alarms are allowed.
7. Call 651-792-7080, between 8:00 a.m. to 4:30 p.m. to arrange for an inspection. Please provide the Permit Number with your request. Thank you.

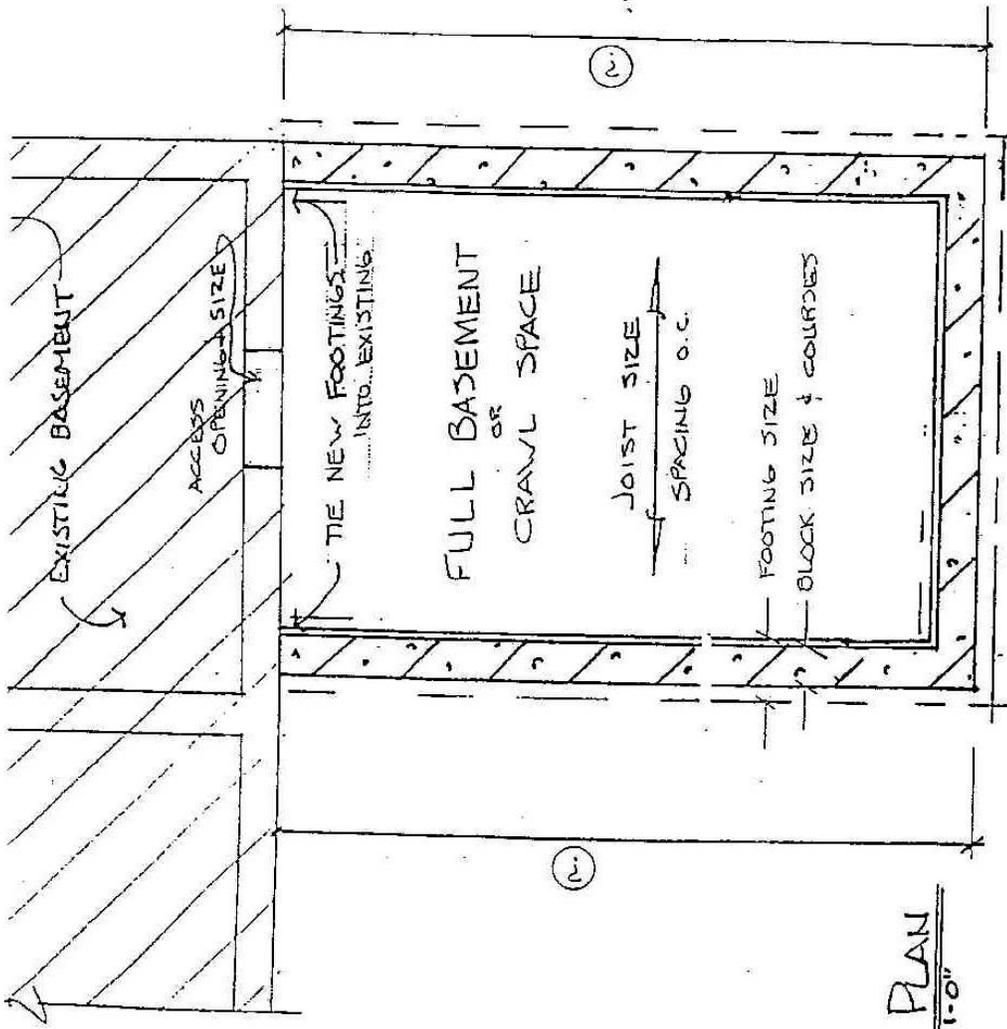
**24 HOUR NOTICE IS RECOMMENDED FOR ALL INSPECTIONS**



SITE PLAN (VERIFY SCALE)



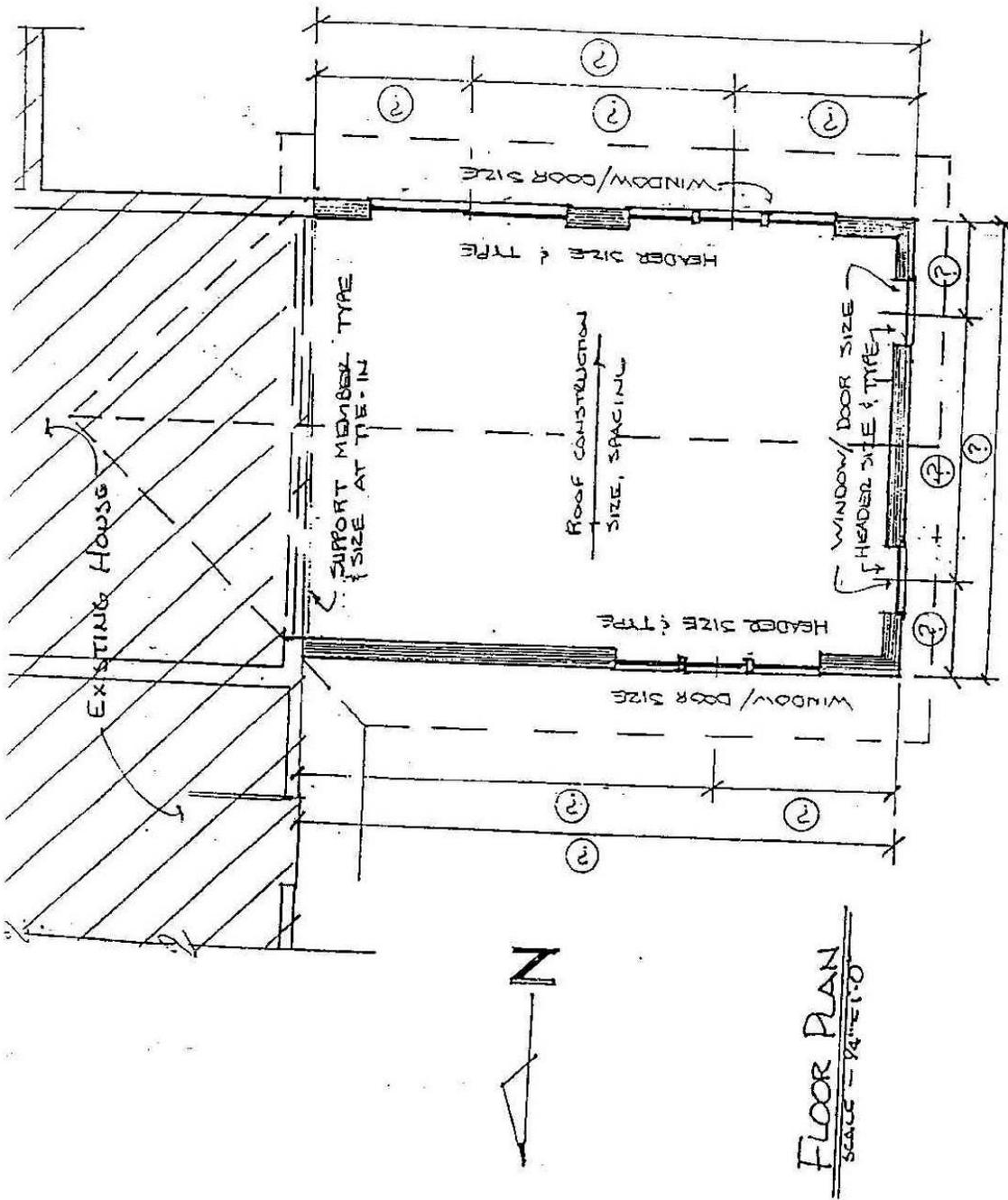
## SITE PLAN EXAMPLE



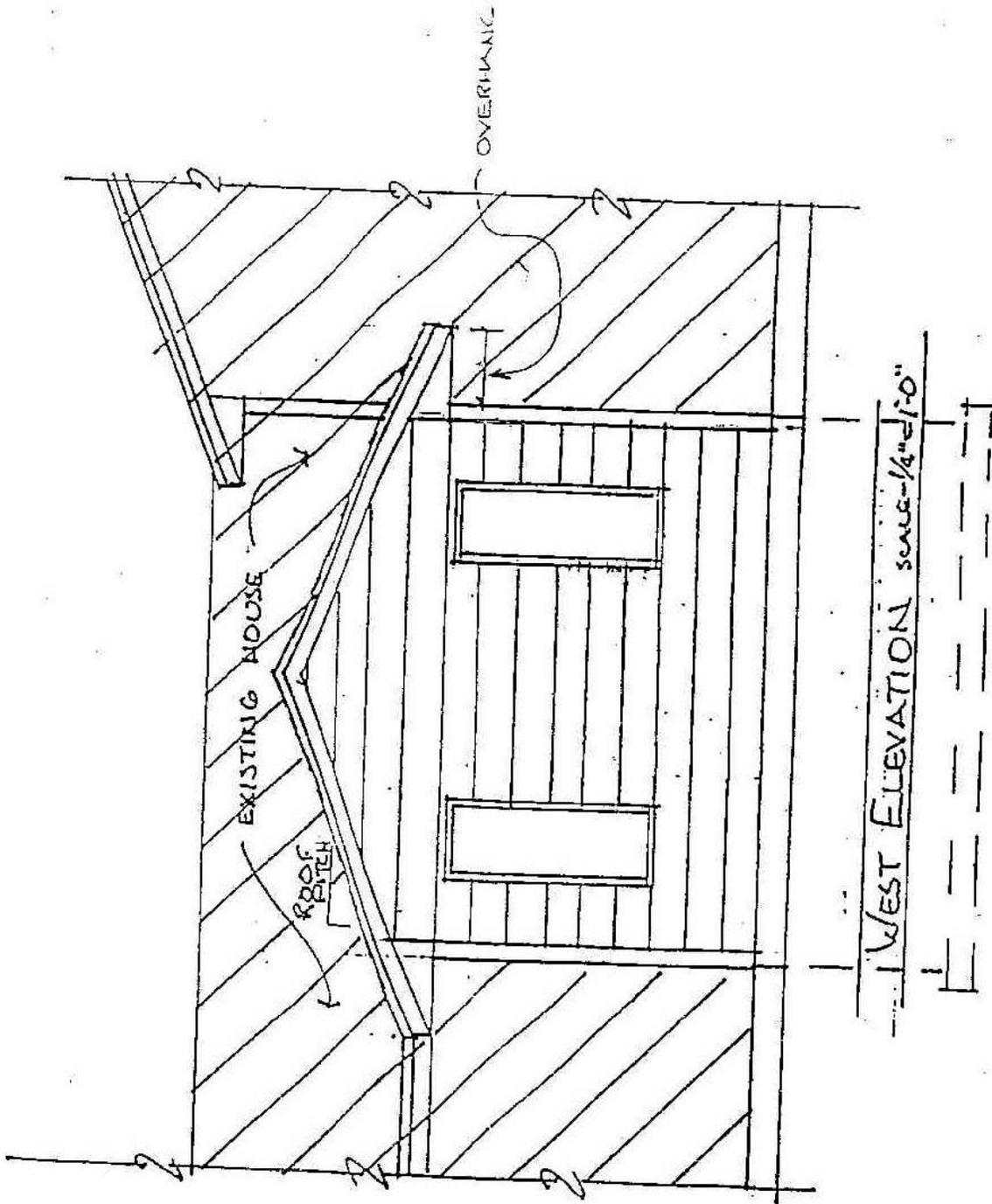
FOUNDATION PLAN  
 SCALE 1/4" = 1'-0"

SHEET 2 OF 6

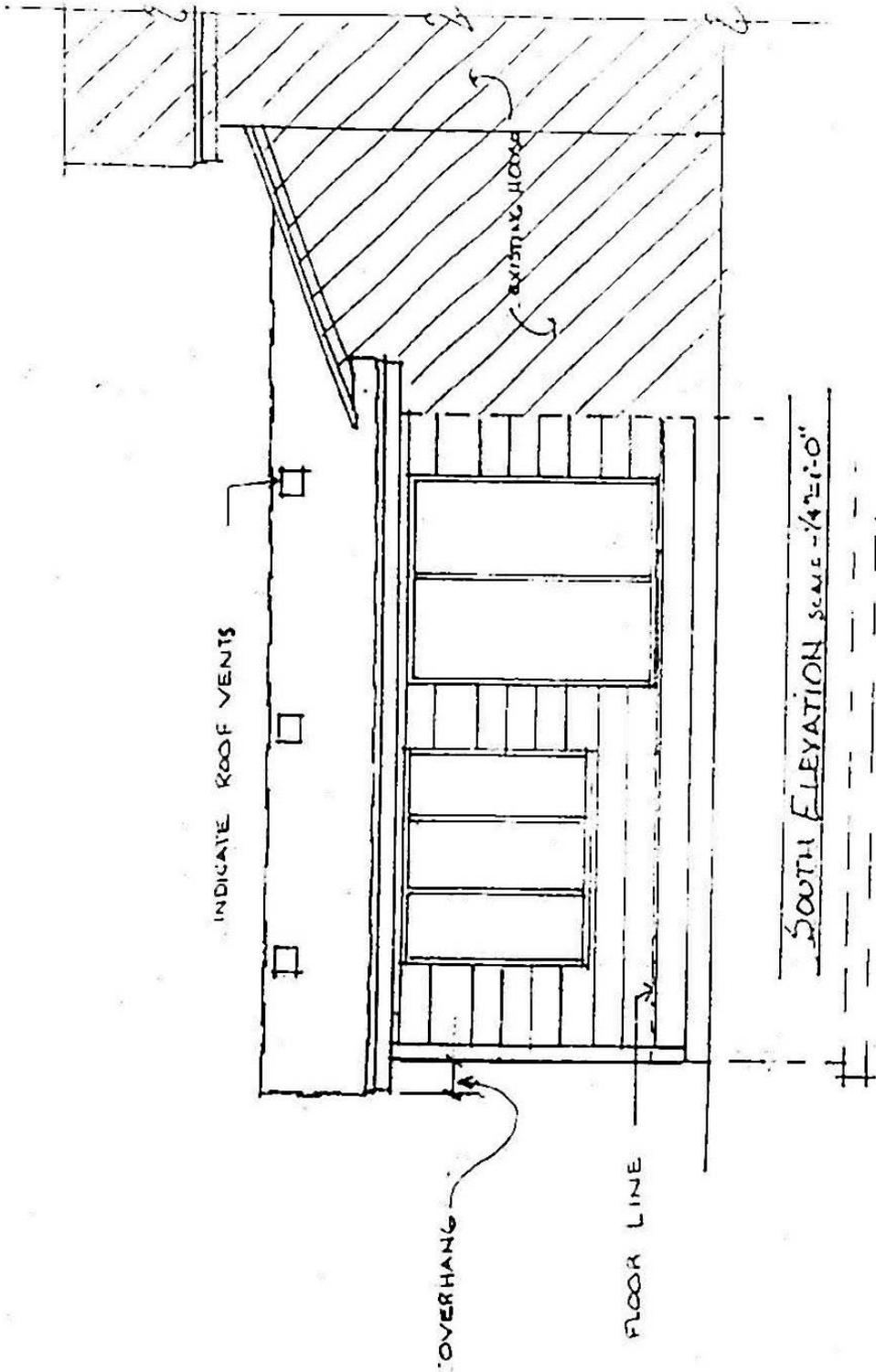
# FOUNDATION PLAN EXAMPLE



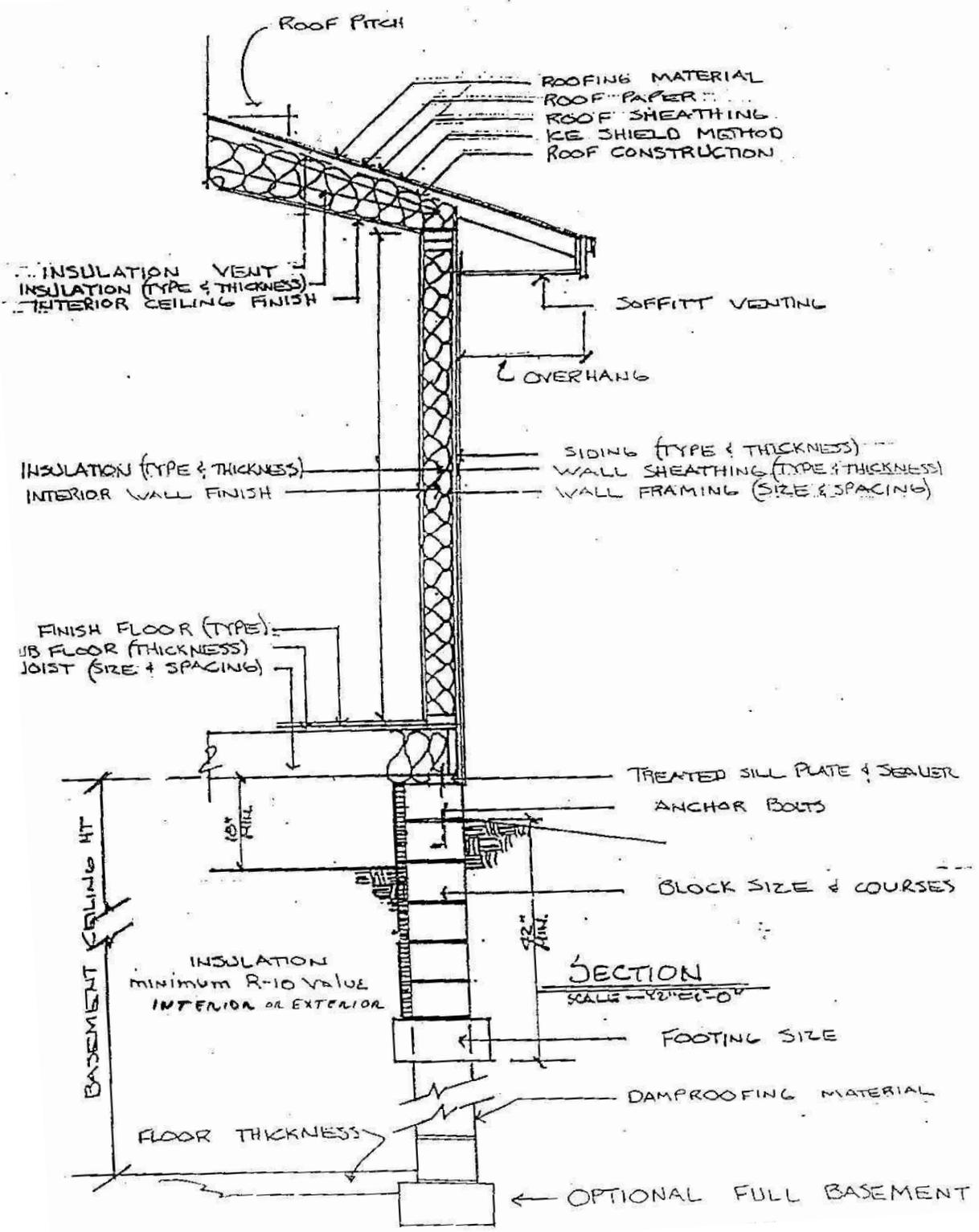
FLOOR PLAN EXAMPLE



## ELEVATION EXAMPLE



# ELEVATION EXAMPLE



CROSS-SECTION EXAMPLE