



COMMUNITY DEVELOPMENT DEPARTMENT  
2660 Civic Center Drive Roseville, MN 55113  
INSPECTION SCHEDULING and GENERAL INFORMATION 651-792-7080  
FAX 651-792-7070

**INFORMATION REQUIRED WITH A 3 SEASON OR SCREENED PORCH**

1. Signed, completed Building Permit application form.
2. Two copies of a Site Plan drawn to scale indicating the lot dimensions, the location and ground coverage area of existing structure(s), and the location and area of the proposed structure. Indicate drainage pattern with arrows. Indicate setback dimensions to property lines.
3. Two copies of plans showing proposed design and materials. Plans shall be drawn to scale and shall include the following information.
  - A. A floor plan indicating the following:
    - Proposed porch size.
    - Size, spacing and direction of floor joists.
    - Size and direction of decking.
    - Size, location and spacing of posts.
    - Size of headers.
    - Size and spacing of roof rafters.
    - Size and location of footings.
  - B. Cross section of either a side view or a rear view indicating the following:
    - Diameter and depth of footings.
    - Size of posts.
    - Header size supporting floor joists.
    - Floor joist size and spacing.
    - Flooring material.
    - Guardrail height (if any).
    - Ceiling height.
    - Header size over glazed and screened openings.
    - Type(s) of sheathing and siding material.
    - Size and spacing of roof rafters.
    - Pitch of roof.
    - Thickness of exterior wall, floor and rafter insulation (if any).
  - C. Elevations indicating the following:
    - Height of structure from established grade.
    - Type of roof covering material.
    - Siding materials (must match existing structure).

\*Attached are examples of drawings which may assist you. They are intended as a guide only.

### **LAND-USE REQUIREMENTS:**

1. Minimum required setback distances from the side and rear lot lines may vary according to location. They are set by Zoning Ordinance. Contact the Community Development Department for this information (when requesting this information, please provide the address of the property).

NOTE: Locating the property irons (legal markers) is the responsibility of the property owner. Irons must be visible when the footing inspection is requested. Setbacks are measured from the legal property line to the building wall line.

2. No porch shall project into the required minimum front yard.
3. No porch or stairway shall be erected upon or over any legal easement.

### **GENERAL BUILDING CODE REQUIREMENTS:**

1. Footings shall be constructed below frost depth (42 inches minimum).
2. Approved wood of natural resistance to decay or treated wood shall be used in exposed areas.
3. Decks, balconies and porches which are more than 30 inches above grade shall be protected by a guardrail not less than 36 inches in height. Open guardrails and stair railings shall have intermediate rails or an ornamental pattern such that the spacing be less than four (4) inches.
4. If a stairway is to be provided, it shall not be less than 36 inches in width. Stairways shall have an eight (8) inch maximum rise and nine (9) inch minimum run.
5. Handrails shall be provided on all stairways having four or more risers.
6. Handrails shall be placed not less than 34 inches, nor more than 38 inches, above the nosing of treads.
7. The hand grip portion of a handrail shall have a smooth surface, be continuous the full length of the stairway, and be not less than 1 1/4 inches, nor more than two (2) inches, in cross-sectional dimension.
8. Floor joist spacing at 24 inches on center requires two (2) inch minimum decking, and floor joist spacing at 16 inches on center requires one (1) inch.

NOTE: The above represent general code requirements relative to porch construction. For specific code requirements, please contact the Community Development Department at 651-792-7080.

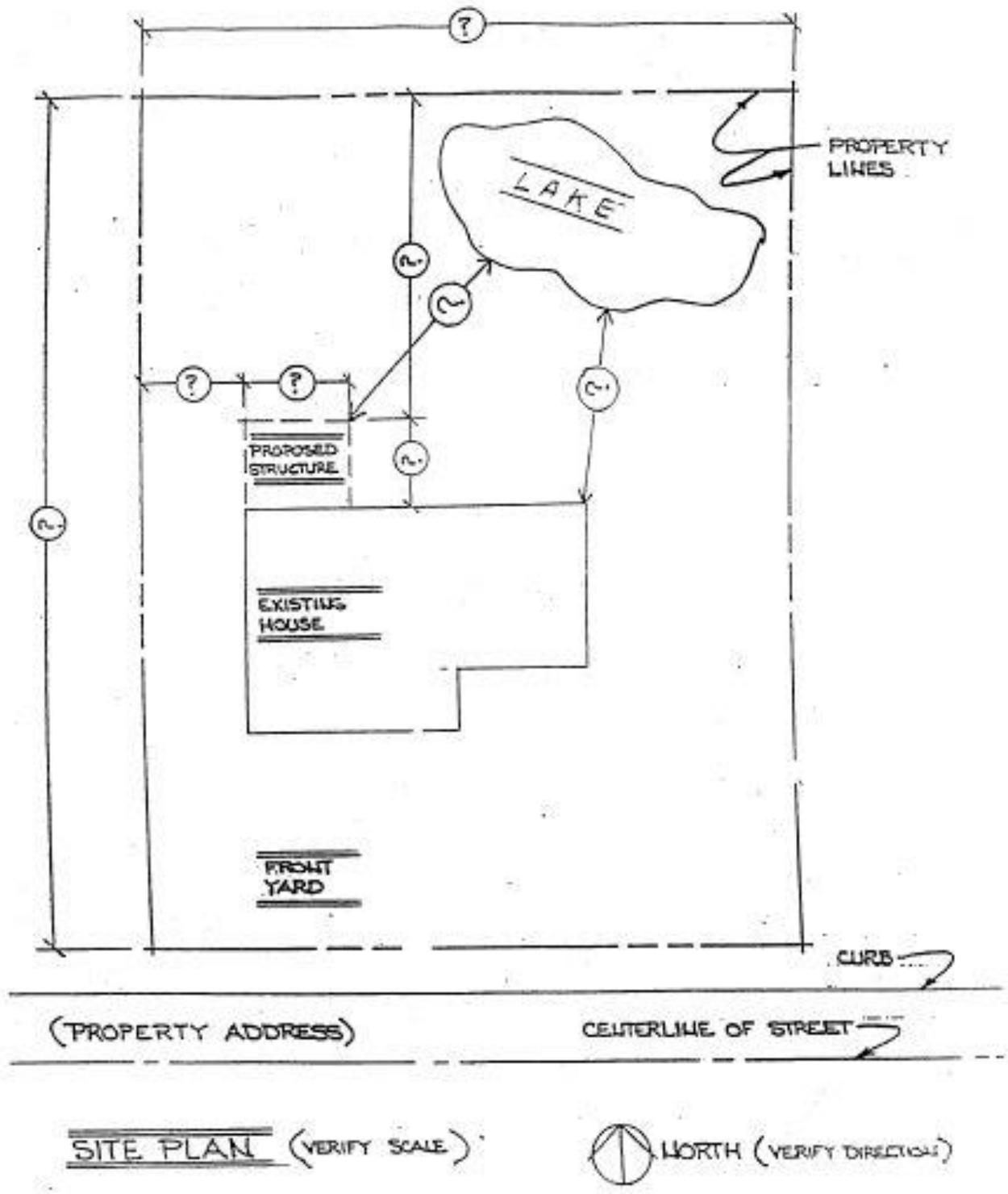
### **REQUIRED INSPECTIONS:**

1. Footings: After holes are dug and erosion control devices installed, but PRIOR TO POURING CONCRETE.
2. Framing: To be made after the roof and framing is completed and any rough electrical and mechanical work is approved, but prior to the application of any insulation or siding.
3. Final: When the structure has been completed.

**GENERAL NOTES:**

1. Plan review and Building Permit issuance normally require five (5) working days from receipt of the completed application. You will be contacted when the permit is ready.
  2. Separate permits are required when installing electrical wiring or mechanical systems. Please contact the Roseville Community Development Department at 651-792-7080.
  3. The stamped, approved Building Plan and Site Plan shall be kept on the job site until the final inspection has been made.
  4. The Inspection Record Card shall be placed on the outside exterior wall near the addition and shall remain posted until the final inspection had been made. Cards shall be protected from the weather.
  5. Any disturbed ground is required to have erosion control protection in order to prevent site erosion or siltation from occurring into City streets, wetland areas, ponds or lakes.
  6. The addition or alteration of any dwelling requires that the dwelling be updated to the current smoke and carbon monoxide alarm requirements of the Minnesota State Building Code 1309.0314, 0315 (I.R.C. 314 & 315). The requirements are as follows:
    - A smoke alarm in each sleeping room.
    - A smoke alarm outside of each sleeping area in the immediate vicinity of the bedrooms.
    - A smoke alarm on each level of the home not already covered by the previous required locations.
    - A carbon monoxide alarm shall be installed outside and not more than ten (10) feet from each separate sleeping area or bedroom.
- Battery operated smoke and carbon monoxide alarms may be allowed.
7. Call 651-792-7080 between 8:00 a.m. and 4:30 p.m. to arrange for an inspection. Please provide the permit number with your request. Thank you.

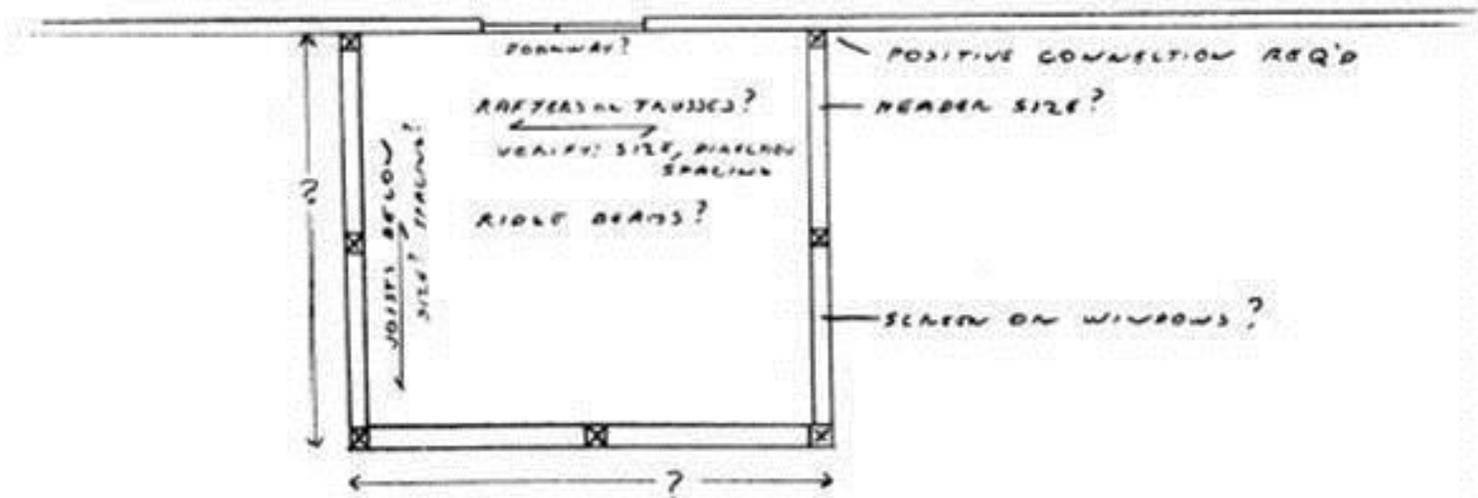
**A 24 HOUR NOTICE IS RECOMMENDED FOR ALL INSPECTIONS**



## SITE PLAN EXAMPLE



EXISTING HOUSE



### 3 SEASON/SCREENED PORCH EXAMPLE