



COMMUNITY DEVELOPMENT DEPARTMENT
2660 Civic Center Drive, Roseville, MN 55113
INSPECTION SCHEDULING and GENERAL INFORMATION 651-792-7080
FAX 651-792-7070

INFORMATION REQUIRED FOR A DETACHED GARAGE

1. Signed, completed Building Permit application form.
2. Two copies of a Site Plan based on a current Certificate of Survey, drawn to scale indicating the lot dimensions, the location and ground coverage area of existing structure(s), and the location and area of the proposed structure. Indicate drainage pattern with arrows.
3. Two copies of plans showing proposed design and materials. Plans shall be drawn to scale and shall include the following:
 - A. A floor plan indicating:
 - Proposed garage size
 - Type, size, spacing and direction of roof framing
 - Size of window and door headers
 - Location and size of window and door openings
 - B. Cross-section plan indicating:
 - Footing/slab design and size
 - Exterior wall construction materials
 - Roof Construction materials
 - Roof slope
 - C. An elevation plan indicating:
 - Front and side view of the proposed garage
 - Approximate height of structure
 - Location of door(s) and windows
 - Siding and roof covering materials
 - Size of all overhangs

*Attached are examples of drawings which may assist you. They are intended as a guide only.

MOST COMMON LAND-USE RESTRICTIONS: (Residential Zoning District Only)

This is not an all-inclusive list. Contact the Community Development Department for specific restrictions of your lot.

1. Locating the property corner irons (legal markers) is the responsibility of the property owner and the irons must be visible when the footing inspection is requested. Setbacks are measured from the legal property line.
2. A detached garage may not be constructed upon any established legal easement.
3. The driveway shall be setback a minimum of 5 feet from the side lot line.
4. For maximum size and location restrictions see separate handout (attached).

BUILDING CODE REQUIREMENTS:

1. Foundation: A “floating slab” up to 864 square feet in area may be designed for the foundation support. Remove all sod and root structures and other fibrous materials and cover with a minimum four inch sand fill. At the perimeter form a haunch (a thickened edge) having a minimum vertical dimension at the exterior face of 12 inches with at least 6 inches projecting above the finished grade. The bottom of the haunch shall be at least 8 inches wide and sloped upward to the bottom of the slab. Minimum slab thickness shall be 3 ½ inches. The minimum concrete strength shall be 2500 pounds per square inch (28 day strength). In cold weather, protect concrete from freezing until cured. 6x6 No. 1, 20 gauge wire mesh reinforcement shall be installed in center of slab and bent down into the edges of haunch. When slab is over 400 square feet in area, install two #4 rebar around the slab perimeter.
2. Anchor Bolts: Foundation plates or sills shall be bolted to the slab or foundation wall with not less than ½ inch nominal diameter steel bolts embedded at least 7 inches into the concrete and spaced not more than 6 feet apart. There shall be a minimum of two bolts per piece, with one bolt located within 12 inches of each end of each piece.
3. Sill Plates: All foundation plates or sills and sleepers on a concrete or masonry slab, which are in direct contact with earth, and sills which rest on concrete or masonry foundations shall be of approved treated wood, foundation cedar or redwood not less than 2 inches in thickness, having a width not less than that of the wall studs.
4. Wall Framing: Studs shall be placed with their wide dimension perpendicular to the wall, be not less than 2x4 and shall be spaced not more than 24 inches on center.
5. Top Plate: Exterior wall studs shall be capped with double top plates installed to provide overlapping at corners and at intersections with other partitions. End joints in double top plates shall be offset at least 48 inches.
6. Wall Sheathing and Siding: Approved wall sheathing and siding material shall be installed according to the manufacturer’s recommendation.
7. Wood and Earth Separation: Wood used in construction of permanent structures and located nearer than 6 inches to earth, shall be treated wood or wood of a natural resistance to decay.

8. Roof Framing: Size and spacing of conventional lumber used for roof framing depends upon the roof pitch, span, the type of materials being used, and the loading characteristics being imposed. If manufactured trusses are to be used, they shall be stamped "Approved" by a recognized third party inspection agency.
9. Roof Sheathing and Covering: Approved roof sheathing and coverings shall be installed according to the manufacturer's recommendations.

NOTE: The above only outlines general code requirements relative to garage construction. For specific code requirements, please contact the Community Development Department at 651-792-7080. Questions regarding design and costs should be referred to a professional builder or architect.

REQUIRED INSPECTIONS:

1. Concrete Slab: To be made after all form work is set up, the mesh has been laid, rods have been wired in, erosion control devices in place, but PRIOR TO THE POURING OF CONCRETE!!!
2. Framing: To be made after the roof, all framing, and any bracing is in place, rough electrical (if any) is approved, but, PRIOR TO THE APPLICATION OF ANY SIDING MATERIALS.
3. Final: To be made upon completion of the building and grading.

GENERAL NOTES:

1. The City stamped, approved Building Plan and Site Plan shall be kept on the job site until the final inspection has been made.
2. Plan review and Building Permit issuance normally require five (5) working days from receipt of a complete application. You will be contacted when the permit is ready.
3. The Inspection Record Card shall be placed on the outside exterior wall of the garage addition and shall remain posted until the final inspection has been made. Cards should be protected from the weather.
4. A separate permit is required when installing an electrical wiring system.
5. Any disturbed ground is required to have erosion control devices installed in order to prevent site erosion or siltation from occurring into City streets, wetland areas, ponds, lakes or adjoining property.
6. Call 651-792-7080 between 8:00 a.m. and 4:30 p.m. to arrange for an inspection. Please provide the permit number with your request. Thank you.

24 HOUR NOTICE IS RECOMMENDED FOR ALL INSPECTIONS

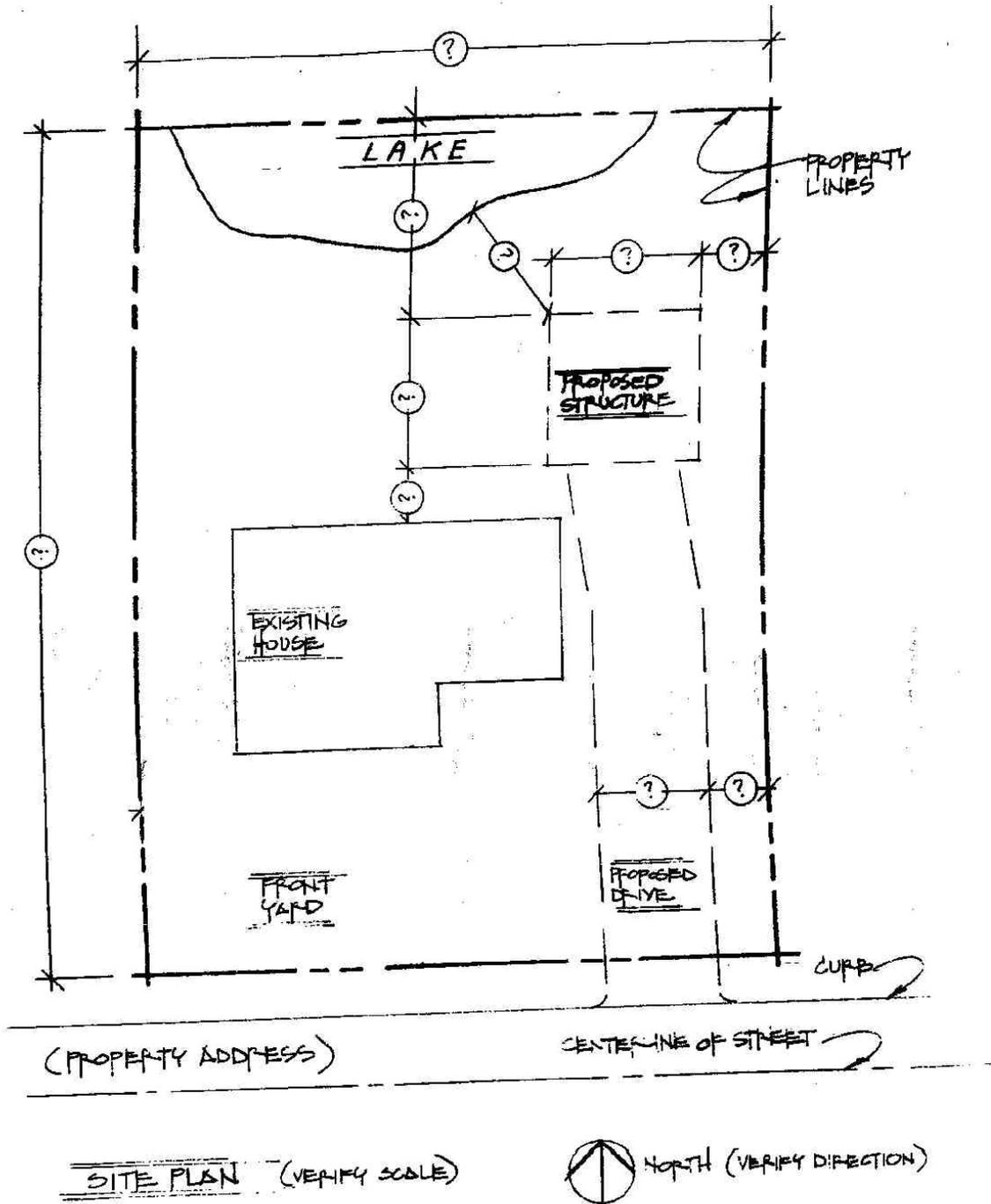
1004.01: GENERAL REQUIREMENTS IN ALL RESIDENCE DISTRICTS:

The following minimum requirements shall apply to all buildings that may be erected, converted, or structurally altered in residence districts (Ord. 275, 3/12/1959).

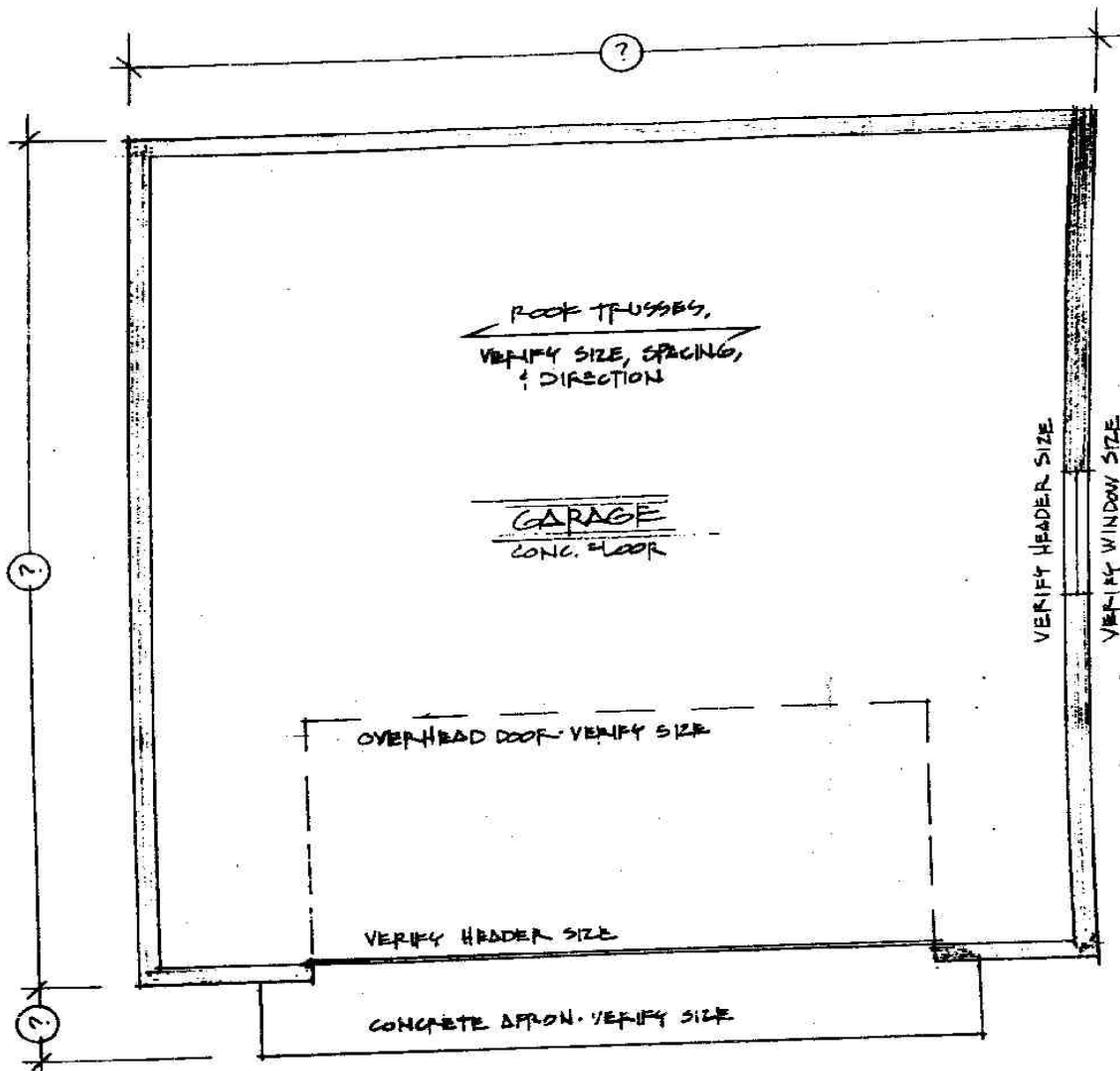
A. Accessory Buildings in Residence Districts:

1. **Number Allowed:** Each residentially zoned or used parcel shall be allowed up to 2 detached accessory buildings and 1 garden shed, based upon certain maximum limitations identified in this section.
2. **Garden Shed:** The size of the allowed garden shed shall be limited to a maximum area of 120 square feet, a maximum height of 12 feet. The one allowable garden shed shall not be considered an accessory building.
3. **Detached Accessory Building Size Limit:** Total detached accessory building area shall be limited to 40% of a required rear yard area, up to a maximum size of 864 square feet. The 40% rear yard limitation is calculated by taking the width of the subject lot or parcel and multiplying it by the required rear setback depth of 30 feet, then multiplying that number by .4 or 40%.
4. **Requirements For Increasing Maximum Size:** The size of detached accessory buildings may be increased from a total of 864 square feet to a maximum total size of 1,008 square feet. A public hearing and approval of a conditional use permit in accordance with Section 1013.01 of this Title, and provided all other applicable provisions of this Section are met, is necessary. Conditions may be attached to the permit to mitigate the impact on adjacent properties, including, but not limited to, increased setbacks, landscape screening, architectural color and detail requirements, drainage provisions, and limiting additional exterior storage. When reviewing an application for a conditional use permit, the Planning Commission and City Council shall consider the following criteria:
 - A. *Impact on traffic.*
 - B. *Impact on parks, streets and other public facilities.*
 - C. *Compatibility of the site plan, internal traffic circulation, landscaping and structures with contiguous properties.*
 - D. *Impact of the use on the market value of contiguous properties.*
 - E. *Impact on the general public health, safety and welfare.*
 - F. *Compatibility with the City's Comprehensive Plan.*
5. **Overall Area:** The overall area of attached garage and detached accessory building(s) shall not exceed the exterior dimensional footprint of the principal structure, excluding any attached garage footprint.
6. **Maximum Total Surface Area:** Including detached accessory structures, principle structures, pavement surfaces (asphalt, concrete and/or brick, stone or other paver), the total impervious surface on a residential lot or parcel shall not exceed 30% of the total lot or parcel size.

7. **Location:** No accessory building or garden shed shall be erected or located within any front yard. Accessory buildings and/or a garden shed shall be located behind the established front building line of the principal structure. On through lots and lakeshore lots accessory buildings and/or a garden shed may be located between the road right-of-way line and the principal structure, provided they meet the required front yard setback.
8. **Minimum Setbacks:** A garden shed and/or accessory buildings shall be set back a minimum of 5 feet from a side yard or rear yard lot line and a minimum of 6 feet from any other building or structure on the same lot or parcel.
9. **Prohibited Location:** Accessory buildings and/or a garden shed shall not be located within any public or private utility or drainage easement.
10. **Height:** Accessory buildings shall not exceed one story or 15 feet in height and the wall height shall not exceed 9 feet in height. The overall height of an accessory building shall not exceed the overall height of the principal structure on the parcel (Building height is determined from Section 209 of the Uniform Building Code).
11. **In-Ground Garages:** Where the natural grade of a lot at the building line of a house is 8 feet or more above the established curb level, an accessory building for vehicle storage (garage) may be erected within any yard, provided that 1/2 of the wall height or more is below grade level. Such an accessory building shall be set back a minimum of 20 feet from any right of way.
12. **Accessory Building & Garden Shed Color, Design And Materials:** The exterior color, design, and/or materials of an accessory building shall be similar to the principal structure. Corrugated metal siding and corrugated metal roofs shall be prohibited.
13. **Driveway Required:** Any accessory building capable of storing one or more motorized vehicles shall be provided with a hard-surfaced driveway to an adjacent public street. However, if the primary purpose of the building is for residential (not commercial) equipment, material, seasonally used recreational vehicle or a seasonally driven vehicle or collectible, a hard surface is not required.
14. **Requirements For Residential Districts Other Than R-1 and R-2:** Accessory buildings in residential districts other than R-1 and R-2 Districts shall be placed in the rear yards and must meet the same principal structure side and rear setbacks, height, and exterior finish regulations as a principal structure for the zoning district in which it is located, in addition to these requirements.
15. **Building Permit Required:** A building permit shall be required for all detached accessory buildings and a garden shed. A building permit application must include a site plan establishing all property lines and required dimensional setbacks, roof and surface drainage plan and building elevations.

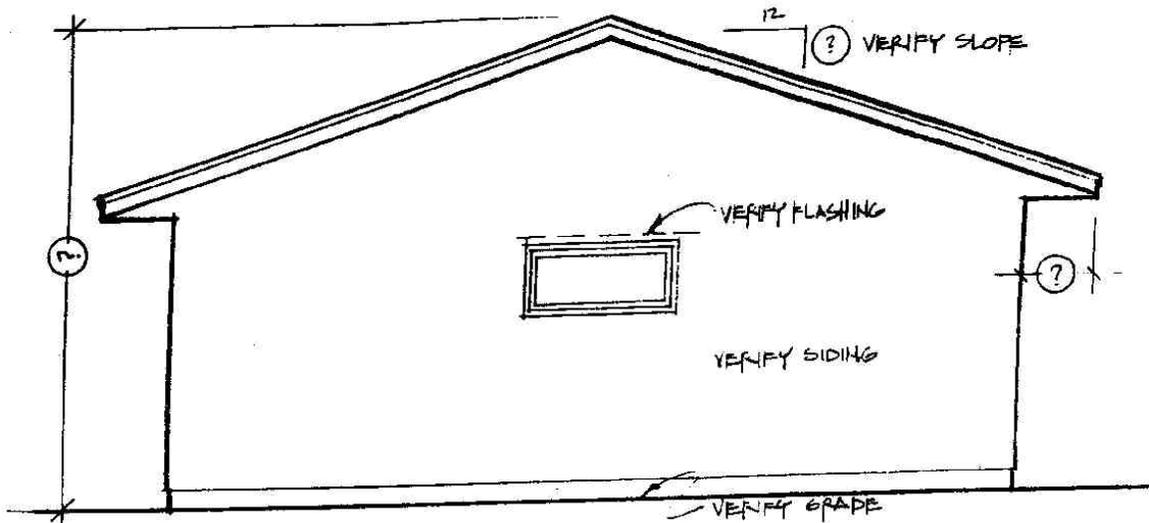


SITE PLAN EXAMPLE

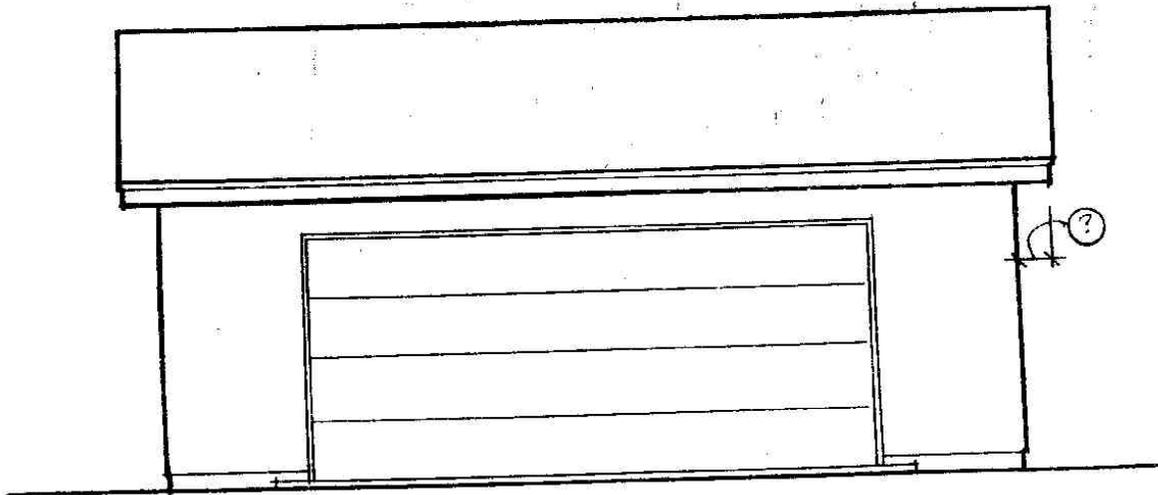


FLOOR PLAN 4-1-0

FLOOR PLAN EXAMPLE

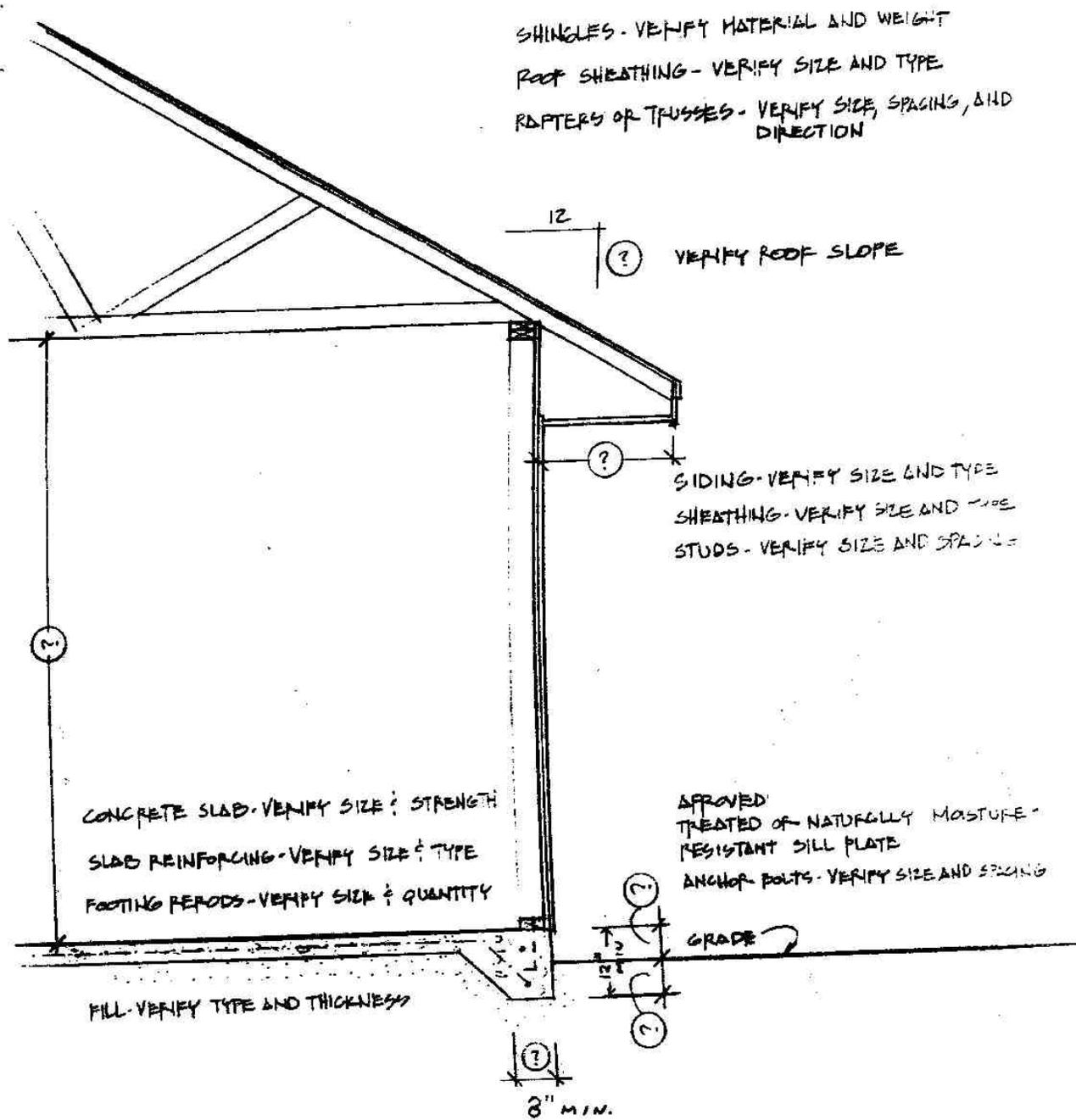


SIDE ELEVATION 1/4"=1'-0"



FRONT ELEVATION 1/4"=1'-0"

ELEVATION EXAMPLES



CROSS SECTION OF DETACHED GARAGE 1/2" = 1'-0"

CROSS-SECTION EXAMPLE